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Eastern Esplanade Conservation Area Appraisal



Southend-on-Sea: Eastern Esplanade Conservation Area Appraisal

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Section 1.0

Introduction

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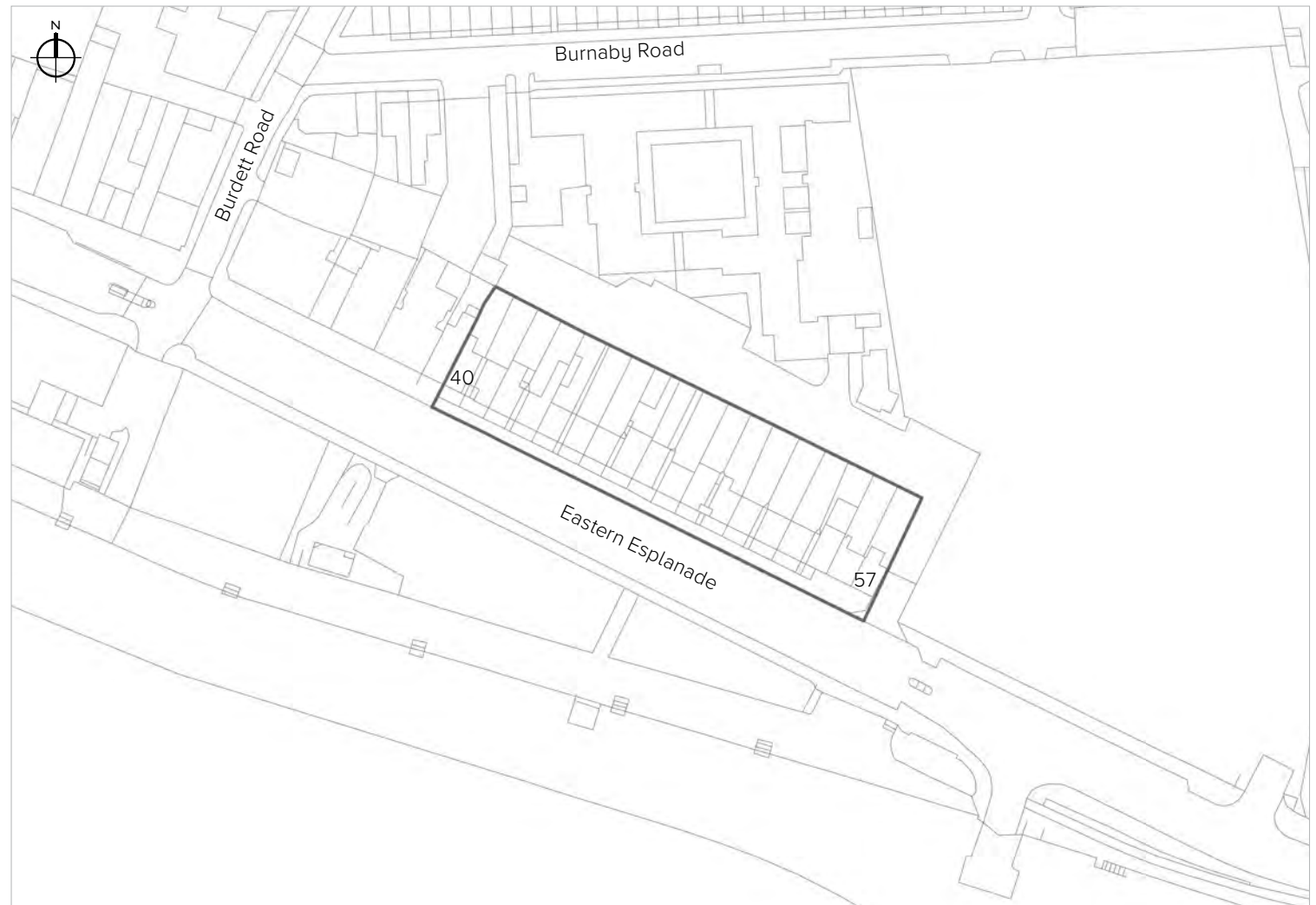
Introduction

Map A: Boundary

- Conservation Area Boundary

This plan is not to scale

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Introduction

1.1 What is a Conservation Area?

Conservation Areas are 'areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance', which is defined in the **Planning (Listed Buildings and Conservation Areas) Act 1990**.

1.1.1 The designation of a Conservation Area recognises the unique qualities of an historic place which make it special in terms of its architecture and history, as well as its role in defining local distinctiveness. Contributing to this are individual or groups of buildings, streetscape and public realm, scale and massing, open spaces and street pattern, and landscaping.

1.1.2 As the aim is to conserve and enhance the significant qualities of a Conservation Area so that owners, occupiers and visitors to the place can experience a high-quality historic environment, designation extends planning controls over certain types of development, principally the demolition of unlisted buildings and works to trees, although an area's status as a Conservation Area is a material consideration for all planning applications. Southend Borough Council, as the Local Planning Authority (LPA), also has policies within

its *Core Strategy* (December 2007) and *Development Management Document* (July 2015) that seek to conserve the character of its Conservation Areas. The emerging Local Plan, which will review the Core Strategy and Development Management Document, will set out a policy approach to managing the historic environment.

1.1.3 However, it should be recognised that designation does not prevent change from occurring within Conservation Areas, and over time they will be subject to many different pressures (both positive and negative) that could impact upon their character and appearance. LPAs have a duty to conserve and enhance their Conservation Areas and will consider this when determining planning applications.

1.1.4 Southend Borough Council (SBC) will also review each Conservation Area from time to time to monitor its condition and ensure that it has an up to date Conservation Area Appraisal which sets out its special architectural or historic interest.

Introduction

1.2 Aims of the Conservation Area Appraisal

1.2.1 This Conservation Area Appraisal:

- Identifies the area's special interest;
- Reviews existing Conservation Area boundaries;
- Assists the preparation of the emerging new Local Plan, Neighbourhood Plans if these are brought forward, and forms part of their evidence base; and
- Provides a basis for implementing policies, making informed development management decisions, and preparing management proposals for the area.

1.2.2 This character analysis in Section 5.0 will inform a management plan for the area (See section 6.0), which will:

- Assess the need for enhancements to public spaces, highways and private property;
- Review the need for Article 4 Directions to limit permitted development rights;
- Assess buildings at risk;
- Assess the need for enforcement action; and
- Establish a programme and procedures for implementing and monitoring proposals.

1.3 Background and Methodology

1.3.1 The Eastern Esplanade Conservation Area was designated in 1989 and consists of a terrace of mid-19th century cottages reputed to have been built for local fisherman. These buildings date from the period when Southend functioned as a small scale resort while it continued to have strong fishing and maritime industries. The Conservation Area boundary is shown on Map A.

1.3.2 The Conservation Area Appraisal for Southend-on-Sea Borough Council updates the former document from 2006. It has been prepared by Purcell, a firm of specialist heritage consultants and architects, on behalf of Southend-on-Sea Borough Council. The research and fieldwork for the Appraisal was carried out in July 2019. The methodology for the work was based on Historic England's *Conservation Area Appraisal, Designation Management: Historic England Advice Note 1 (second edition)*, February 2019 and also references *The Setting of Heritage Assets: Historic England Good Practice Advice in Planning Note 3 (second edition)*, December 2017.

1.3.3 All photographs within this report were taken in 2019 unless otherwise stated.

Introduction

1.4 Overview and Location

- 1.4.1 The Eastern Esplanade Conservation Area (Shown on Map A) consists of a continuous terrace of 18 buildings (40-57 Eastern Esplanade) facing Southend's seafront road, which runs parallel to the shoreline. Southend's early development has now been absorbed within a much larger urban area as the town rapidly expanded as a seaside resort and residential town from the late-19th century onwards. The buildings are mostly two-storey and in residential use with the exception of the ground floor of 48, which is in commercial use (as a café).
- 1.4.2 The Conservation Area is located at the eastern fringe of Southend's 'Golden Mile' of seafront amusements and visitor attractions and extends from Burdett Road in the west to Forge Way in the east. To the east and north, the Conservation Area is separated from a modern hotel building and residential development by a car park (formerly part of the gas works).
- 1.4.3 Immediately to the south of the Conservation Area boundary, and within its setting, is the broad Eastern Esplanade, beyond which is an area of amenity space (including a crazy golf course) which gently rises to the promenade and sea wall. The Sea Life Centre is located to the south west. Opposite this, and directly west of the Conservation Area, are two to three storey shops/public houses with residential accommodation above.
- 1.4.4 All the buildings in the Conservation Area face southwards towards the Thames Estuary, although views at street level are obstructed by the rise in ground level towards the sea wall. The Conservation Area is within a flood risk area.

Section 2.0

Summary of Special Interest



Summary of Special Interest

- 2.1.1 The distinctive, special quality of the Eastern Esplanade Conservation Area (40-57 Eastern Esplanade) draws on its early role in the birth and development of South End (later becoming Southend-on-Sea), and its unified small-scale, domestic aesthetic exhibiting a unique, vernacular style and detailing.
- 2.1.2 The Conservation Area's historic interest derives from its association with South End's earliest role as a small fishing settlement, before its rapid expansion and development as a major seaside resort from the late-19th century. The terrace is an important survival of local vernacular houses, which may have been built for local fishermen, and it retains its residential function. The diminutive and domestic quality of the terrace is distinguished from the larger, commercial buildings in its setting.
- 2.1.3 Its architectural interest lies in its consistent and unusual style of vernacular architecture and in its detailing. Characteristic features which contribute to this architectural interest include unusual plan forms with oversailing first floors; recessed, raised porches with some decorative timberwork; front elevations of either traditional timber weatherboarding or yellow stock brick and weather-boarded rear elevations to some of the buildings. Each pair of houses features an aesthetically pleasing and unusual arrangement of a shared door accessing shared communal space and two private doors either side, accessed by steps. The retention of several front gardens is notable, the boundary enclosures and planting help to reinforce the domestic character of the Conservation Area. However, removal of boundary enclosures and gardens erode the character of the Conservation Area. Other historic, decorative features supplementing the area's special interest include: sliding sash timber windows with glazing bars; brick window heads; some original timber panelled doors to the front entrances and side alleys; decorative detailing to the doorcases; framed by pilasters; and porches which feature dentilled friezes resting on brackets.
- 2.1.4 Unfortunately there have been some negative alterations to buildings in the Conservation Area, including: the replacement of original timber windows with uPVC; painting over of original brick façades and the loss of original front doors. These alterations are discussed further in Section 6.

Section 3.0

Planning Framework

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Planning Framework

3.1 The National Planning Policy Framework

- 3.1.1 The *National Planning Policy Framework* (NPPF) came into effect in March 2012 and was most recently updated in July 2021. It establishes the planning principles that should underpin both plan-making and decision-taking, including that these: *‘assets are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations’*.⁰¹
- 3.1.2 Section 16 of the NPPF sets the policy framework for conserving and enhancing the historic environment. Paragraph 191 of the NPPF stipulates that, *‘When considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest, and that the concept of conservation is not devalued through the designation of areas that lack special interest.’*
- 3.1.3 Further guidance regarding the implementation of the policies in the NPPF can be found in the chapter on ‘Conserving and enhancing the historic environment’ in the *National Planning Practice Guidance* (NPPG), July 2018: <https://www.gov.uk/guidance/conserving-and-enhancing-the-historic-environment>.

Definitions

In the context of the NPPF for heritage policy, a **‘Heritage asset’** is defined as: *‘A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).’*

‘Significance’ is defined as: *‘The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only to a heritage asset’s physical presence, but also from its setting.’*

‘Setting’ is defined as: *‘The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.’* Further advice on the assessment of setting can be found in *Historic England, The Setting of Heritage Assets: Historic England Good Practice Advice in Planning Note 3 (second edition), December 2017.*

‘Historic environment’ is defined as: *‘All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.’*

⁰¹ NPPF, 2021, para.189, p.55

Planning Framework

3.2 Local Planning Policies and Guidance

3.2.1 The **Core Strategy** (2007), **Development Management Document** (2015) and **Southend Central Area Action Plan** (2018-SCAAP) are the principal documents that guide SBC in determining local planning and listed building consents. Proposals for development within the Conservation Area or within its setting will need to adhere to the criteria set out in these policies to ensure the conservation of the special interest of the Area. Policies specifically related to the historic environment are listed below and should be referenced when planning change.

3.2.2 Core Strategy (2007)

- Strategic Objective SO14: Deliver high quality, well designed and attractive urban and natural environments which are safe, people friendly and distinctive, and which respect and enhance existing character and local amenity
- Policy KP2: Development Principles
- Policy CP4: The Environment and Urban Renaissance

3.2.3 Development Management Document (2015)

- Policy DM1: Design Quality
- Policy DM4: Tall and Large Buildings
- Policy DM5: Southend-on-Sea's Historic Environment
- Policy DM6: The Seafront

3.2.4 Southend Central Area Action Plan (SCAAP)

- The SCAAP provides a detailed planning framework and planning policies for managing development and growth within the town centre and central area. There are five conservation areas within the Southend Central Area: Prittlewell (Policy PA8: Victoria Gateway Neighbourhood Policy Area Development Principles), Kursaal (Policy CS1: Central Seafront Policy Area Development Principles), Clifftown (Policy PA6: Clifftown Policy Area Development Principles), Warrior Square (Policy PA5: Warrior Square Policy Area Development Principles) and Eastern Esplanade (Policy CS1: Central Seafront Policy Area Development Principles).

3.2.5 The production of the Southend New Local Plan will provide an opportunity to review the Core Strategy, Development Management Document and SCAAP, and will set out a new suite of planning policies for the Borough, including for the management of the historic environment.

Planning Framework

3.2.6 Further supplementary planning guidance is contained within the Council's:

- **Design and Townscape Guide (SPD 1)** (2009), which sets out guidance on creating high-quality urban design and includes advice on the historic environment in Section 9;
- **Planning Obligations: A Guide to S106 & Developer Contributions (SPD 2)** (2015), which gives guidance on Section 106 Agreements which can be made to balance out negative impacts of development through other enhancements, such as conserving or enhancing the historic environment; and
- **Streetscape Manual (SPD 3)** (June 2015), provides guidance about creating high-quality streetscapes, including those within Conservation Areas.

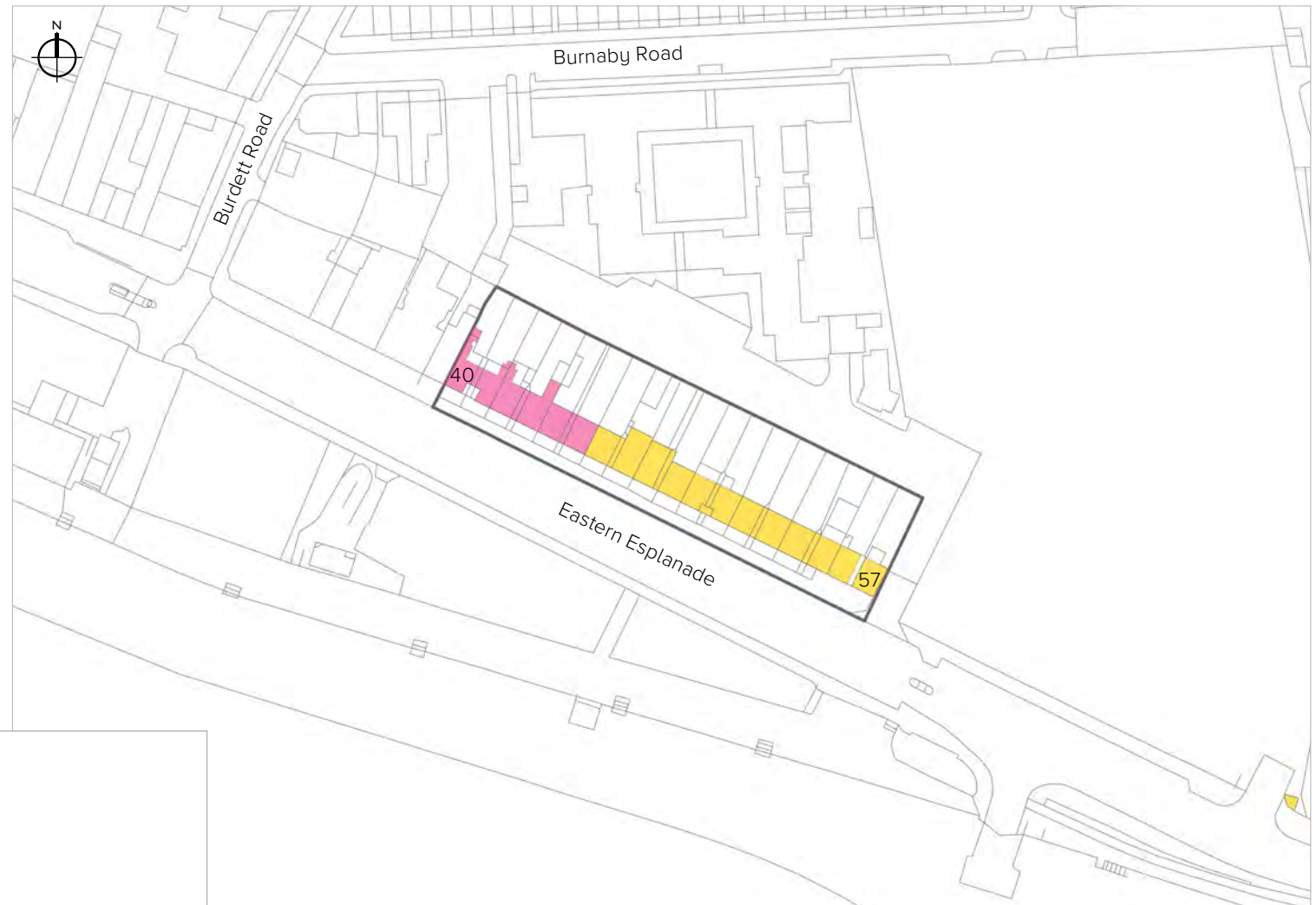
3.2.7 All of these documents can be found on SBC's website, www.southend.gov.uk/planning, and will be reviewed as part of the production of the Southend New Local Plan.

Planning Framework

3.3 Designations

3.3.1 As a Conservation Area, Eastern Esplanade is a designated heritage asset in its own right. It also contains other designated heritage assets, including listed buildings and non-designated heritage assets, such as locally listed buildings.

3.3.2 Further information on Southend's listed and locally listed buildings and article 4 directions can be found on the Council's website: www.southend.gov.uk/planning.



Map B: Designations

- Conservation Area Boundary
- Grade II
- Locally Listed

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Planning Framework

Listed Buildings

- 3.3.3 Buildings of special architectural or historic interest are designated as Listed Buildings by the government under the *Planning (Listed Buildings and Conservation Areas) Act 1990* for their special architectural or historic interest. Listing ranges from Grade I (the highest level of protection) through II* to II. Listing also applies to freestanding objects and structures within the building's "curtilage" (i.e. its grounds) which have been there since before 1st July 1948, for example, a wall attached to a Listed Building, or a garden building where the main house is listed.
- 3.3.4 Protection is provided through the Listed Building Consent procedure, which is required by owners or developers when they apply for change to their property, including alterations, additions or demolitions. Work to a Listed Building should conserve and enhance the building's special architectural or historic interest.
- 3.3.5 Listed Building Descriptions can be found via the National Heritage List for England: <https://historicengland.org.uk/listing/the-list/>.

- 3.3.6 There are six Grade II Listed Buildings within the Conservation Area. They were all built as terraced or paired fisherman's cottages in the early or mid-19th century. For further information see their list descriptions in Appendix A. The Listed Buildings are:

Address	Listing
40 Eastern Esplanade	Grade II
41 Eastern Esplanade	Grade II
42 Eastern Esplanade	Grade II
43 Eastern Esplanade	Grade II
44 Eastern Esplanade	Grade II
45 Eastern Esplanade	Grade II

Their list descriptions are in Appendix A.

Planning Framework

Locally Listed Buildings

3.3.7 Southend has a wide range of historic buildings and structures. For those which do not meet the criteria for national listing, the Council can identify them as 'Locally Listed'. These are non-designated heritage assets. The purpose of the Local List is to identify buildings, structures and monuments of local architectural or historic importance and to take action as far as possible to preserve them.

3.3.8 SBC's criteria for the designation of Locally Listed Buildings requires buildings to:

- Demonstrate the Borough's history, particularly during its main period of growth. This includes buildings important for its social history such as schools, churches, public buildings, leisure, entertainment and commercial buildings.
- Have architectural interest - be designed by a well-known architect, be a good example of a particular style or period, contain good architectural features or be important for the townscape.

3.3.9 Change to Locally Listed Buildings needs to be carried out in a sympathetic manner. A building's Locally Listed status will be a material consideration for all planning applications affecting it and, as with Listed Buildings, applications involving loss or harm to a Locally Listed Building will normally be resisted although a balanced judgement will be made, having regard to the scale of any harm or loss, the significance of the asset and any public benefits.

3.3.10 There are 12 Locally Listed Buildings within the Conservation Area, these buildings, like the Listed Buildings adjacent are believed to have been built as fishermen's cottages in the early to mid-19th century. The Locally Listed Buildings are:

- Nos.47-57 Eastern Esplanade

3.3.11 Additionally, a further Locally Listed Building is situated nearby outside the Conservation Area. This is a Home Guard Defense Post at the south-west corner of the hotel site to the east of the Conservation Area.

Section 4.0

History and Archaeology

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History and Archaeology

4.1 Archaeological Interest

- 4.1.1 There is no known below-ground archaeological interest in the Conservation Area.

4.2 History of Eastern Esplanade

General History of Southend-on-Sea

- 4.2.1 The name 'Southend' was first recorded as 'Stratende' in 1309. It became 'Sowthende' and by the 18th century it was called South End. It was originally a small collection of fishermen's huts close to the shoreline, about 500 metres west of the present Conservation Area, on the southern border of lands belonging to Prittlewell Priory (2km to the north). The settlement was within a scattered rural community with farmland extending down to the shoreline. On the gently rising ground about 500 metres to the north of the present Conservation Area was the moated manor house of South Church Hall which dates from the 13th century.
- 4.2.2 The settlement remained a very small farming district until around 1700 when it was discovered that the foreshore was an excellent breeding ground for oysters. It is believed that a fisherman named Outing discarded some young oysters that were too small to sell onto the mudflats. A year later he discovered that the oysters had grown, and subsequently leased a large section of the foreshore for oyster cultivation. Within a few years the whole of the foreshore from Hadleigh to Shoeburyness was being utilised for breeding oysters. This industry lasted until the beginning of the 20th century.
- 4.2.3 With this discovery, and the growth of the London barge trade, the settlement began to expand. In 1767 the first brick buildings in South End were built - a row of fishermen's cottages at Pleasant Terrace (now demolished).

History and Archaeology

4.2.4 From the mid-18th century, the settlement also began to develop a new role. Sea-bathing for health became increasingly fashionable in England and new resorts were developed around the coast. Local landowners tried to exploit this fashion and attract visitors to South End with new accommodation in lodging houses, small inns and hotels. Initially, the modest, small resort catered mostly for local gentry but by the 1790s it was attracting people from London via new stage-coach services. Demand for accommodation appears to have exceeded supply and this may have been a factor in encouraging the development of New South End. The map adjacent (Map C) shows the new settlement of 'South End' in 1777, which shows the site of the future Character Area to be undeveloped common-land or seashore.

4.2.5 In the 1790s a concerted effort was made to create a more exclusive and fashionable resort with the development of Royal Terrace at the top of the clay ridge to the west. This was intended to be the first stage of the development of 'New South-End'; the original settlement along the shoreline became known as 'Old South-End'. However, the new development failed to attract fashionable clientele and the main area of the resort remained in Old South End which spread along the shoreline facing onto a narrow stretch of common land separating it from the beach. One of the main problems was the difficult access by road and sea and during the early-19th century the resort appears to have catered mainly for local and less fashionable gentry.



Map C: Detail from Chapman and André's Map, 1777 with the approximate location of the Conservation Area indicated in red

History and Archaeology

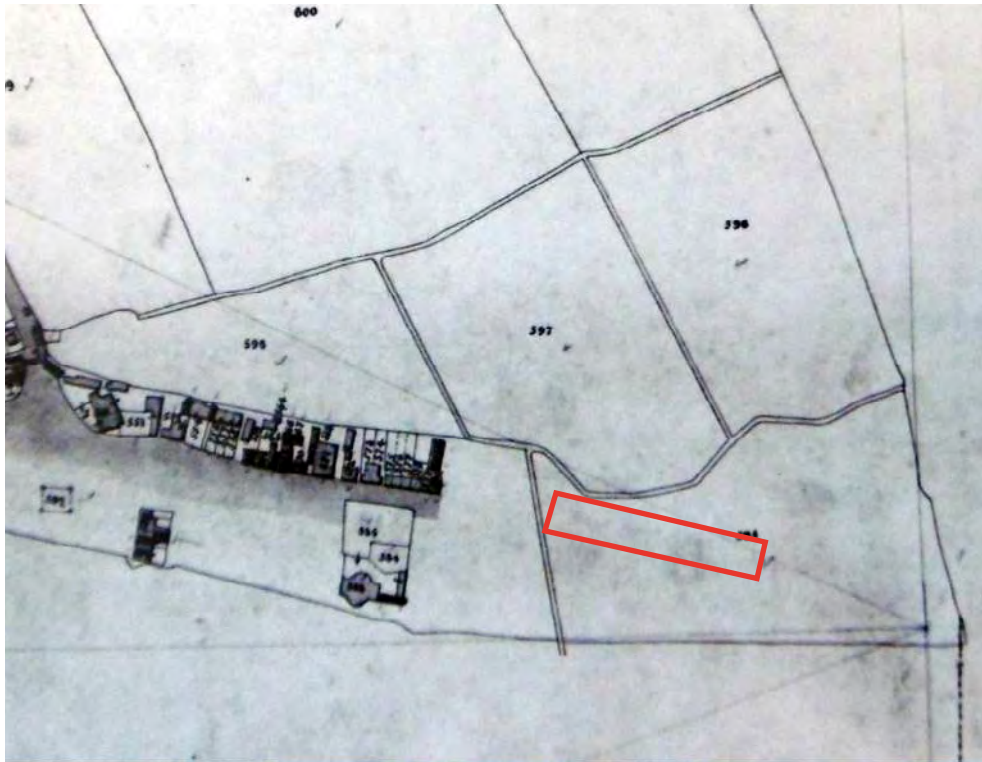
- 4.2.6 From the mid-19th century, however, three factors changed the situation. Increasing wealth and leisure time for the middle classes (compulsory Bank Holidays were introduced in 1871), greatly improved access by rail and boat, and the rise in popularity of excursions and holidays all helped to make Southend (as New and Old Southend together came to be known as from the early-19th century) an attractive destination, especially for Londoners.

The first railway from London was completed in 1856 and the Pier, (originally constructed in wood in 1829-1830) was intermittently improved and extended, and eventually rebuilt in 1889 with a brand new electric railway, the first of its kind on a pleasure pier, making an excursion to Southend an even more exciting prospect. Southend's growth and popularity was acknowledged in 1892 when it became recognised officially as a town and its role as a seaside resort town was indicated the year after by its renaming as Southend-on-Sea. New attractions on the seafront were developed for visitors, along with new hotels and guesthouses. The seafront promenade was laid out and new housing spread over the surrounding area for people attracted to live permanently in the resort. The late-19th century was a boom period of growth and by the early-20th century Southend-on-Sea had become London's largest seaside resort.

Development of the Conservation Area

- 4.2.7 The Eastern Esplanade Conservation Area illustrates an early phase of development in Southend-on-Sea (referred to as Southend henceforth); whilst there have been some cosmetic alterations to the houses, they remain largely intact.
- 4.2.8 Nos.40-57 Eastern Esplanade is a terrace of early to mid-19th century cottages. They date from the period when Southend functioned as a small-scale resort while it continued to have fishing and maritime trade functions. The terrace was built on marginal land at the edge of an area of the marsh, which at that time, extended eastwards along the sea frontage. The terrace is believed to have been built as fishermen's cottages a little to the east of the resort and facing onto what was then the beach and shoreline. Their unusual plan form, simplicity of original internal detail and materials, and their external design, suggest they were built for a specific purpose or type of user (such as fishermen) rather than speculatively or as part of the resort. They are the only buildings of their type to have survived in Southend and are comparable to the weatherboarded terraces in Leigh, built for fishermen there in the mid- to late-19th century. The terrace, therefore, has special interest, being an important survival of local vernacular buildings and probably being linked to Southend's former fishing industry.

History and Archaeology



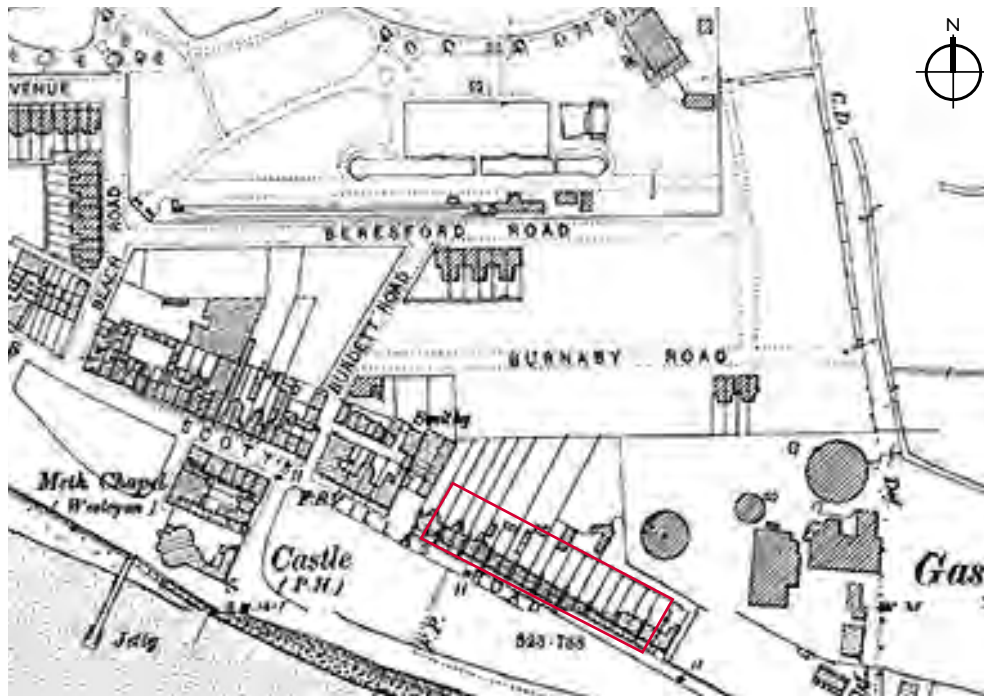
Map D: Tithe Map, 1841 (Reproduced courtesy of the Essex Record Office: D/CT 276/1) with the approximate location of the Conservation Area indicated in red)

4.2.9 While the Tithe Map of 1841 (Map D) does not show the cottages (they would be located to the east of the end of the row of houses depicted), the two 19th century OS maps do show the buildings in the Conservation Area in 1874 (Map E) and 1897 (Map F). The section of terrace, 40-57 Eastern Esplanade (unnamed on the 1841 map) was to the east of Grosvenor and Victoria Place, on the eastern fringes of the main town centre. To the north was a gas works site, beyond which was agricultural land extending to Southchurch Hall.

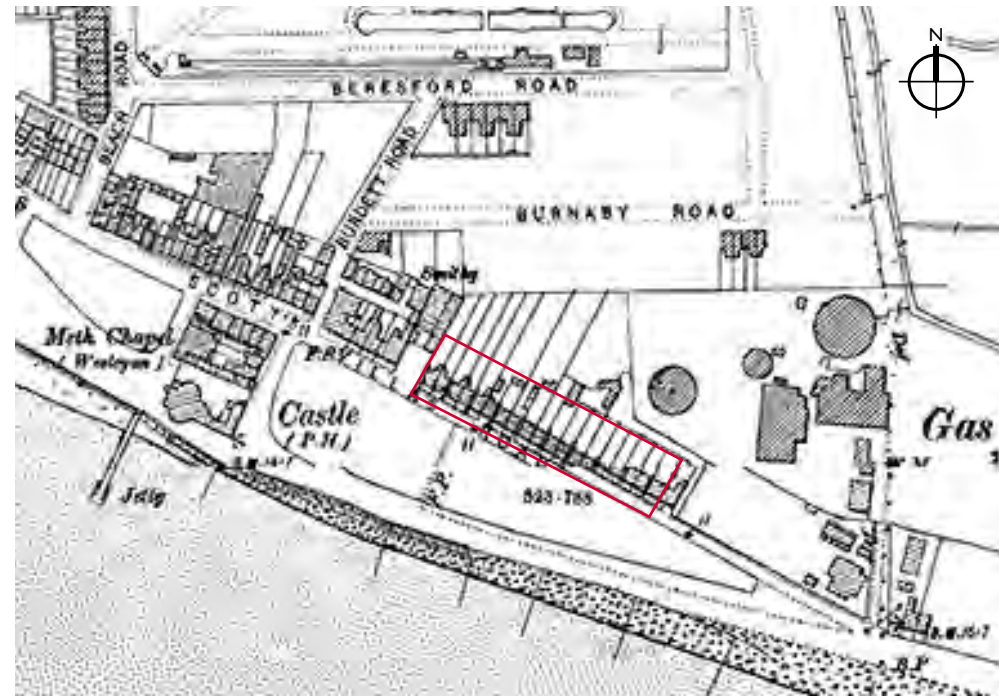
By the 1897 map, the area had evolved with a number of roads laid out further east of the town centre. Nos.40-57 were part of Scott's Villas Road. While Eastern Esplanade was marked, it was a narrow walkway, well set back from the road lining the coast. It encompassed a stretch of seafront from Marine Parade to just over halfway along Scott's Villa's Road.

The late-19th century development north of Scott's Villas Road included Burdett Road, Beresford Road, Burnaby Road and Arnold Avenue to the north and north-west of the Conservation Area. These all led up to the expansive Marine Park (Cricket and Football Ground). The 1874 and 1897 maps both show an open wedge of land in front of Nos.40-57, crossed by a footpath linking the terrace to the sea. Both these maps show the Gas Works immediately to the east of the site, which had expanded significantly by the end of the 19th century. The formation of Southend Gas Company in 1854 marked the significant development of infrastructure in Southend. Both maps show an additional house at the east end of the terrace.

History and Archaeology



Map E: 1874 Ordnance Survey map. Note, the Conservation Area falls over a join in two parts of the map, meaning the buildings appear misaligned. © Crown Copyright 2019. All Rights Reserved. Licence number 100019680



Map F: 1897 Ordnance Survey map. Note, the Conservation Area falls over a join in two parts of the map, meaning the buildings appear misaligned. © Crown Copyright 2019. All Rights Reserved. Licence number 100019680

History and Archaeology

- 4.2.10 The main Eastern Esplanade, like the Western Esplanade, was laid out (incorporating the former Scott's Villas Road), widened and extended between 1899 and 1914.
- 4.2.11 In 1932 an auctioneer's sales catalogue provides a description of Nos.53 and Eastern Esplanade (noting that they were formerly called 14 and 15 Scotts Villas). No.53 is described as follows, with a similar description for No.52:

"Immediately facing the sea and occupying a much sought after letting position in one of the most popular parts of the Esplanade frequented by a large number of visitors during the season. The House is constructed of brick with slated roof and comprises:-

On the first floor- three bedrooms, one of which is adapted for use as a kitchenette fitted with sink. On the half landing- boxroom.

On the ground floor- Entrance passage. Two living rooms.

Basement- Living room. Kitchen with range and sink. Cupboard. Larder. Coal store.

Outside- Timber-built wash-house and W.C. Small garden. Gas. water. main drainage.

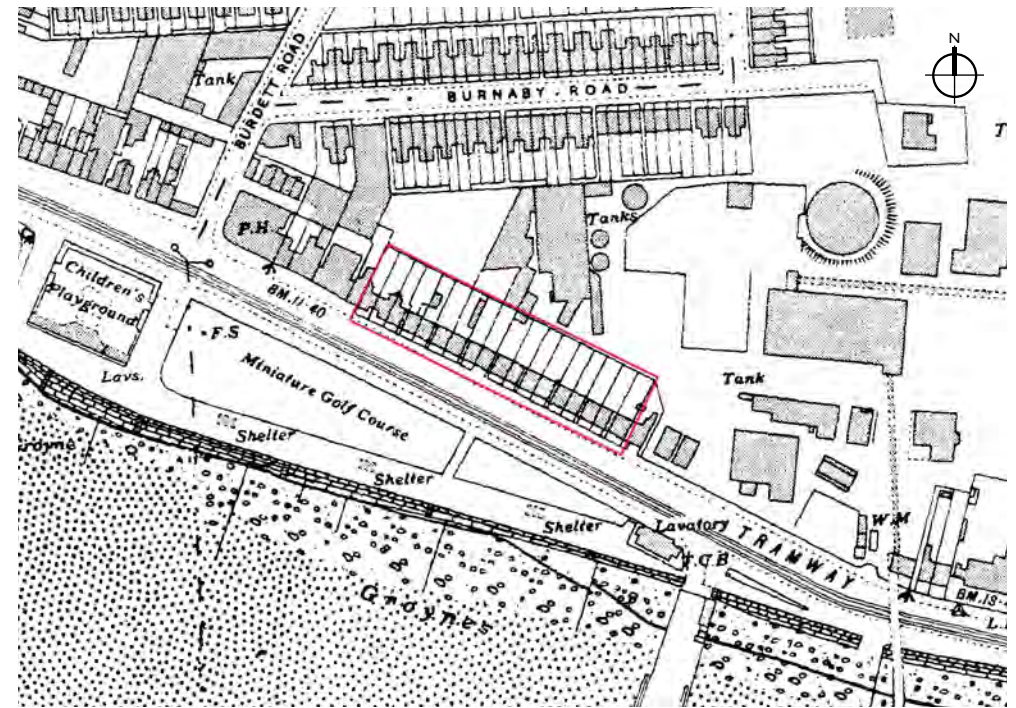
There is a joint passageway between this and the adjoining house, No.53, affording side entrance and used in common..One of the first floor front bedrooms extends over the passageway and part of No.52, eastern Esplanade, a first floor front bedroom of which extends of part of this lot."

- 4.2.12 No.52 was sold for £670, while No.53 went for £550.⁰¹

⁰¹ ERO, D/F 36/14

History and Archaeology

4.2.13 By the 1939 OS map (Map G), Scott's Villas Road had become Eastern Esplanade, which widened and extended the former road. The development of several leisure facilities around the Conservation Area, including the Kursaal amusement park, a pleasure ground, a children's playground and a miniature golf course, heralded the absorption of the terrace (formerly straggling outside the main town) into the seaside resort. A tramway ran along the newly developed Esplanade, indicating the popularity of the route, and a miniature golf course had been built on the larger part of the wedge of open land in front of the Conservation Area. Widening the road and building the new golf course severed the historic relationship between the terrace and the seafront (formerly linked by a footpath across undeveloped land). By this point the Gas Works had expanded further, with tanks occupying land immediately to the north and east of the Conservation Area. The capacious Kursaal amusement park was built to the west of the Conservation Area on the corner of Southchurch Avenue and the Eastern Esplanade. In response to the leisure and industrial developments in the area, Burdett, Burnaby and Beresford Roads, only sparsely developed in the late 19th century, were built up with rows of terraced housing.



Map G: 1939 Ordnance Survey map. © Crown Copyright 2019. All Rights Reserved.
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History and Archaeology

- 4.2.14 During the Second World War, seafront defenses, featuring over 1,800 blocks with accompanying barbed wire, were erected along the Eastern Esplanade seafront to guard against invasion. Two of these remain immediately to the east of the site (opposite the Premier Inn). A Locally Listed Home Guard Defence observation post dating from 1939, is to the west of the Premier Inn.
- 4.2.15 Esplanade House, a former Gas Works office, was built in 1960 and demolished in the early-21st century. The Gas Works site, immediately to the east of the Conservation Area, was closed and demolished in 1968. The site lay empty for the rest of the 20th century and was redeveloped in the early-21st century
- 4.2.16 In the late-20th/early-21st century, the residential character of the terrace has been challenged by the arrival of commercial occupants, such as cafes. At present, a café occupies the ground floor of No.48.

History and Archaeology

Map H: Building Ages

- Conservation Area Boundary
- Early to Mid-19th Century

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Section 5.0

Character Analysis

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Character Analysis



5.1 Architecture

- 5.1.1 The terrace, 40-57 Eastern Esplanade, shows a style of vernacular 19th century architecture that is unique in the Borough. Each property was built as a house of two floors with a raised ground floor reached by entrance steps and first floor over. Nos.43-57 are slightly higher and have semi-basements. The two-storey buildings are small in scale and are particularly distinctive from the larger, commercial buildings in their setting.
- 5.1.2 The majority of the terrace remains in residential use although the ground floor of No.48 has been converted to a shop and No.47 is vacant. Some of the houses have been converted into flats (Nos.47, 48, 49, 50a, 51a, 55 and 57a). This conversion has triggered some alterations such as adding a separate access door.



Character Analysis

Map I: Building Uses

- Conservation Area Boundary
- Residential: Single Dwelling
- Residential: Flats
- Commercial with Residential Over
- Vacant : being converted to flats at the time of survey

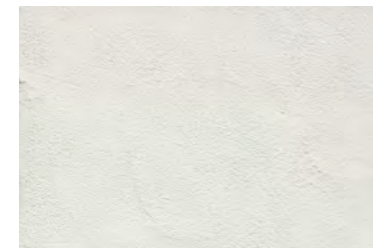
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Character Analysis

5.1.3 The front elevations of Nos.40-42 are weather-boarded on softwood timber frames. No.43 may originally have been weather-boarded but now has a rendered front elevation. Nos.44-57 were originally faced in yellow stock brick, but some have now been painted and others rendered which reduces the visual coherence of the terrace. Rear elevations are a mix of render and brick. A thorough survey of the rear elevations was not possible in 2019 due to restricted access, although it was noted in the 2006 survey⁰¹ that Nos.40-45 were also weather-boarded to the rear, which suggests the possibility of timber framing. Rear elevations have a mix of additions, alterations and window styles with no consistent appearance.



⁰¹ Southend-on-Sea Borough Council, *Eastern Esplanade Conservation Area Character Appraisal*, March 2006

Character Analysis

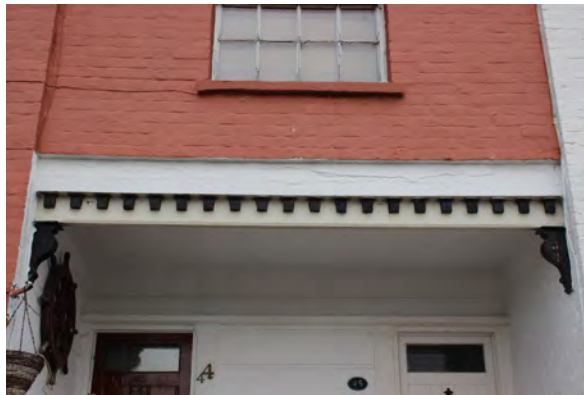
5.1.4 The houses' front elevations are mirrored. With the exception of Nos.40 and 41, all have shared, deeply recessed, open porches and separate flights of York stone steps to entrance doors separated by a simply-boarded timber door at ground level, opening onto a shared covered access to the rear, again with a simply boarded door. The original steps of certain houses have been replaced or clad with other materials and the original iron railings have almost entirely been replaced with modern handrails, (further details on these unsympathetic changes are in Section 6.3.6). The back walls of the recessed porches are weather-boarded. Porches have a simple timber dentilled fascia resting on end brackets. The first-floor brick frontages over the porch are slightly recessed. The entrances to 40 and 41 are also deeply recessed and they have no porch as the first floor above the entrances is recessed to the same extent. They also have dentilled details over the entrance, similar to porches in the rest of the terrace.



Nos.40-41 are the only pair without a recessed porch (York stone steps remain)



Parts of original railings remaining at No.44 (left) and No.45 (right)



Dentilled fascia ornament on end brackets



Dentilled fascia ornament with one end bracket

Character Analysis

5.1.5 Although the front elevations are mirrored, on plan the houses alternate at first floor level between one and two window ranges, each alternate house oversailing the whole of the porch to provide an additional first floor room.

5.1.6 Front elevation windows were originally eight-pane sliding timber sashes to the ground and first floors with a pair of small side-hung casement windows to each basement. Many of these remain. However, the original fenestration at the eastern end of the terrace (Nos.54-57) has been much altered, with uPVC replacements and alteration of original window shape. No.55 bears an insensitive canted bay uPVC window and the squat uPVC units at No.56 do not retain the historic outline of the former sash windows, otherwise retained across the terrace. Non-original, hinged timber window shutters feature on some of the buildings (Nos.43 and 46). The modern shopfront window occupying the ground floor of No.48 has replaced former historic features (porch and sash windows), which are characterful across the terrace. The modern glazing also draws attention to the anomalous non-domestic function of this building. The associated fascia board is also oversized and inappropriate in the context of the Conservation Area, which otherwise is purely residential. The upper floor windows have also been replaced with insensitive modern units. Further details regarding inappropriate window alterations are found in Section 6.3.6.

Good Examples of Windows

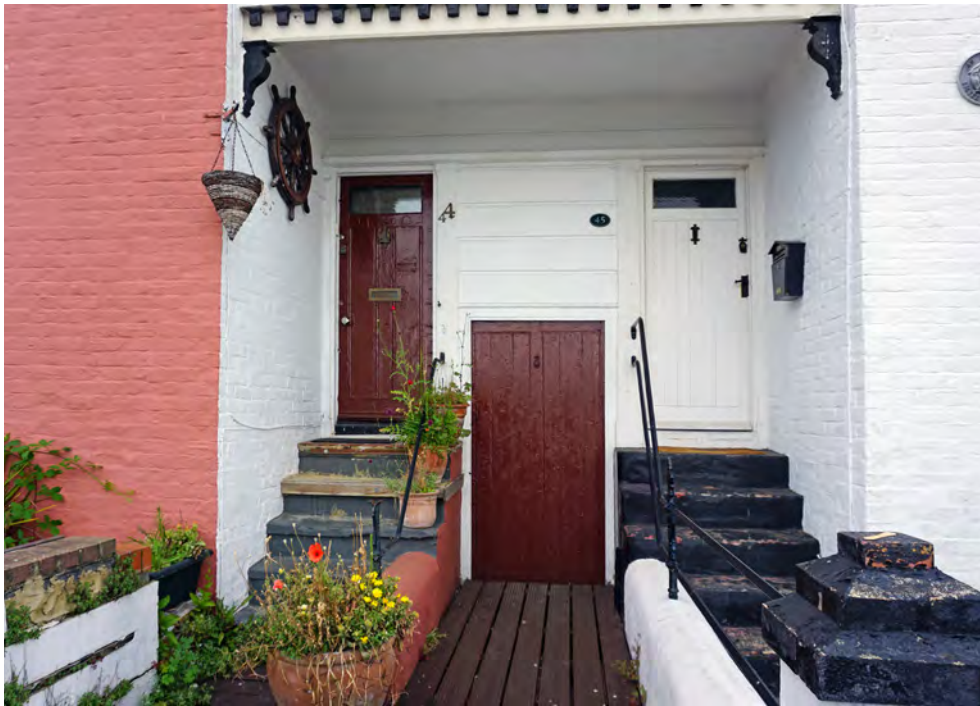


Examples of Inappropriate Windows



Character Analysis

5.1.7 Front entrances originally had plain boarded doors, which incorporated a high-level rectangular light and two simple panels below. Some of the doors have been replaced, although their replacements generally retain the high-level light motif. The original, simple pilastered doorcases largely remain across the terrace. Doors to the rear access were simply boarded with horizontal boarding above them; their survival is more common than that of the front entrances.



Good survivals of timber doors with glazed panel at the top and original stone steps, albeit painted



Replacement doors in 'off-the-peg' styles less appropriate to the character of the buildings

Character Analysis

5.1.8 The main roof form of Nos.42-57 comprises a shallow-pitched roof with its ridge parallel to the front, and valley roofs extending to the rear to form a continuous range of gable ends to the rear walls, the width of each property comprising one and a half gables. The main roof is stepped between Nos.43 and 44. Shared chimney stacks are at ridge level. The roof structure to Nos.40 and 41 reflects their different plan form and has hips to the front. The roofs were originally slate, although some are now unsympathetically altered to concrete tiles and artificial slate (Nos.47, 48, 55, 56 and 57), which disrupts the visual coherence and appeal of the Conservation Area.

5.1.9 Although the terrace has seen alterations, it still retains its basic design and vernacular appearance. Despite the design differences outlined above, there are sufficient similarities to suggest that the two sections of the terrace date from the same period. Common design features give the terrace a good degree of visual coherence and rhythm with a consistent scale, proportions, use of materials and detailing. It is this unity and its vernacular appearance that gives these buildings their special character.



Slate roofs



Concrete roof tiles

Character Analysis

Map J: Townscape

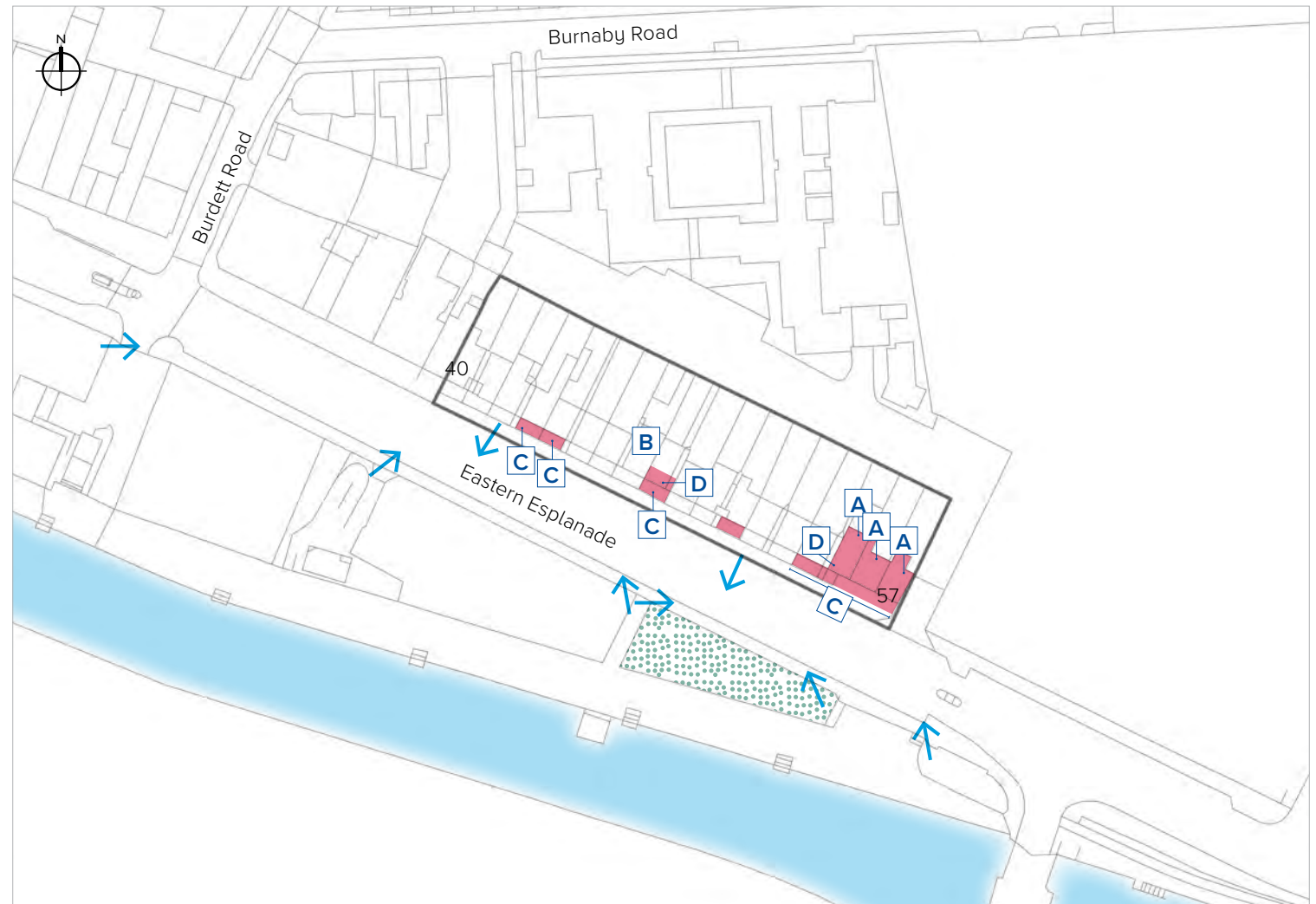
- Conservation Area Boundary
- ▣ Important Green Space
- Views
- Negative Feature*
- Water

- A Poor condition
- B Vacant
- C Poor/lost boundary treatment
- D Frontages with negative alterations

*See also Building-by-Building plan in Appendix B for positive, negative and neutral buildings

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Character Analysis

5.2 Townscape

5.2.1 The Eastern Esplanade Conservation Area is situated on low lying ground at the edge of the northern shoreline of the Thames Estuary. The beach and sea defenses to the south have been built up to several metres above the Eastern Esplanade. To the north the land is relatively flat but gradually slopes upwards. The land along the shore to the east was low-lying marsh which was reclaimed for development in the late-19th century. About 500 metres to the west, the land rises up to the eastern end of the London clay ridge, which runs parallel to the shoreline. The ridge rises steeply from the foreshore to level off at a height of approximately 30 metres. The topography influenced early development of South End which was focused on the relatively flat and accessible shoreline between the clay ridge and the marsh. The Conservation Area is at the eastern end of this early development.

5.2.2 Within the Conservation Area, the townscape is defined by the frontage design of its buildings as described above. Small enclosed front gardens remain at the majority of the terraced houses and provide some opportunity for reinforcing the domestic character and improving their appearance through planting. However, boundary enclosures are generally inconsistent in material and condition, with picket fencing, concrete blocks and metal railings co-existing in various states of repair. Some gardens have been lost entirely to car parking and poorly designed hard surfaces; this loss of boundary enclosure harms the appearance of the Conservation Area.

5.2.3 The rear of the Conservation Area was not accessible at the time of survey in 2019 owing to new security gates on Forge Way to the east of the terrace. However, glimpses of the rear boundary walls and part of their rear elevations were visible through the gates and from the car park to Audley Court to the north of the Conservation Area. The houses have relatively long rear gardens, many with outbuildings. The 2006 Appraisal comments on sections of remaining, original stock brick boundary walls. There are relatively newly planted cordoned trees along the back boundary, which partly screen the rear elevations. The boundary walls and trees give a sense of enclosure to the terrace, which needs to be retained.

Character Analysis



Pleasant garden setting



Poor boundary wall treatment



Mix of boundary wall treatments



Front garden converted to parking with the loss of boundary treatment



Paved over front garden reducing opportunities for the addition of greenery



Front gardens converted to parking with the loss of boundary treatment

Character Analysis

5.2.4 The best views of the terrace are from either end looking east or west, where the rhythm of the buildings is evident, or from the south including the raised grassed areas and seafront path opposite where a full view of the terrace can be appreciated.



View looking north-east



View looking north-west



View looking west from the grassed area opposite the terrace, with the blue roof of the Sea Life Centre clearly visible in the setting of the Conservation Area

Character Analysis

5.3 Setting

5.3.1 The setting of the Conservation Area also affects its townscape character. Views of the Thames Estuary are hindered by the busy road, raised promenade opposite, and mini golf course shielded by a hedge opposite the north-east half of the Conservation Area. The setting therefore dislocates the terrace from the sea, which it formerly overlooked and was linked to via a footpath. However, views of the Conservation Area from the sea wall and promenade are important and help retain the historic link between the terrace as originally built and the sea shore. As such, the area to the south of the Conservation Area, and the buildings and structures within it, are an important part of its setting. Views of the estuary from the upper storeys of the terrace are relatively unhindered.



View looking west along the promenade, with the Sea Life Centre visible

Character Analysis

5.3.2 The buildings in the setting of the Conservation Area form a significant contrast to the Area's historic, vernacular building style, predominantly domestic function and unique detailing. These buildings are more commercial in use, generally larger scale and much less cohesive and unified in style. To the west of the Conservation Area, the buildings are defined by more commercial/leisure uses and exhibit a mixture of building styles, plot widths, materials, building scales and heights; many of these buildings are vacant or in disrepair and therefore detract from the setting of the Conservation Area. To the east of the Conservation Area, on the site of the former Gas Works, there is a large car park and beyond this, a modern hotel and residential development characterised by large scale, blocky massing and sparseness of detailing. These buildings are overpowering (owing to the gap site provided by the car park) in long views of the site looking to the east and, therefore, harm the setting of the Conservation Area. Adjoining the eastern property are modern gates in a traditional design which are somewhat ostentatious for their setting next to the cottages in the Conservation Area. This gate accesses the rear of the properties on Burnaby Road and the houses within the Conservation Area themselves.



Eastern Esplanade to the west of the Conservation Area



Car park and hotel to the east of the Conservation Area

Character Analysis

5.3.3 The location of the Conservation Area on Southend seafront means that it is in a very exposed position and has no mature trees or adjacent buildings to provide any sense of enclosure. Only a few of the front gardens feature planting; further landscaping and planting in gardens would help screen and shelter the Conservation Area. The grassed area opposite the terrace, albeit small, does have some contribution. The wide road fronting the terrace with on-street parking on both sides and the openness of the promenade conflicts with the domestic scale of Nos.40-57. The coastal road is busy and therefore noisy, which does impact the setting of the Conservation Area. There are no items of street furniture (modern lampposts, pay meters, bins and service boxes) or surfacing (tarmac) of any merit. Except for its association with the estuary, in general, the townscape around the Conservation Area is poor and tends to harm rather than add to its character, but there is potential for improvement.



Grassed area opposite the Conservation Area

Section 6.0

Management Plan

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Management Plan

6.1 Introduction

6.1.1 This section highlights issues and threats within the Eastern Esplanade Conservation Area, as well as opportunities to enhance its special historic and architectural interest. It begins with a Conservation Vision, summarising the aims for the future of the Conservation Area. Issues and opportunities are described, and recommendations provided for the reduction or removal of threats to the Area's special interest. The section concludes with guidance on how to go about the sensitive repair and alteration of materials, details and features characteristic of the Conservation Area. Alterations, repairs or new development should follow this guidance to help preserve the special interest of individual properties and the Conservation Area.

6.2 Conservation Vision

- 6.2.1 The historic character and special interest of the Eastern Esplanade Conservation Area will be conserved and enhanced, making it an appealing place for people to live and work, containing good quality housing.
- 6.2.2 It will predominantly be a residential street with no further commercial shop fronts added. Houses converted to flats will externally appear as a single dwelling.
- 6.2.3 The buildings will be in good condition, with inappropriate alterations reversed, and traditional materials and details used for features such as walls, windows, roofs and doors.
- 6.2.4 Front gardens will be attractively planted and/or landscaped. Boundary walls will be reinstated and off-street parking converted back into front gardens.
- 6.2.5 New and redeveloped buildings or public realm works within the setting of the Conservation Area will be designed appropriately in terms of scale, form, materials and details reflecting the special interest of the area.
- 6.2.6 The grassed area on the other side of the road from the terrace should be retained and maintained as an attractive pocket of green space in an urban area.

Management Plan

6.3 Issues, Opportunities and Recommendations

Condition

6.3.1 No buildings in the Conservation Area are 'buildings at risk'. However, whilst some buildings have been recently restored and feature tidy elevations and manicured gardens, others properties are rundown and neglected. Properties at the east end of the Conservation Area feature cracked or peeling render and paintwork (56 and 57 in particular), excessive surface wiring or broken and redundant service boxes (57), and many gardens or entrances are overgrown with weeds. The Conservation Area would benefit from repairs, maintenance and enhancement generally, with more specific repairs to some properties.

Recommendation

6.3.2 Keeping buildings in good condition will ensure the area is an attractive and desirable place to live, work and visit.

6.3.3 Undertake regular maintenance and checks to prevent problems from occurring and protect original features. This will also ensure small problems do not become bigger, more costly issues to fix.

6.3.4 Follow guidance in Section 6.4 to ensure repairs and alterations are carried out in an appropriate manner.



Management Plan

What is a Heritage Impact Assessment?

Heritage Impact Assessment (HIA) is a process used when proposals are put forward for change to the historic environment. It is usually a requirement of listed building consent, or planning consent, for proposals within a Conservation Area. It identifies what is historically and architecturally important about a heritage asset, in order to be able to assess whether proposed changes will have a positive, negative or no impact on the heritage values of the place. Advice is usually given by a specialist heritage consultant and the resulting conclusions presented in a report, which should include:

- Identification and description of the proposals site and its setting;
- Identification of any designations, such as listing, which the site is subject to or which are within the setting of the site;
- Description of the history of the property;
- Identification of the 'significance' of the site, i.e. its historic and architectural interest;
- Assessment of the impact the proposals will have on the significance of the site, as well as recommendations for any changes to the scheme that will reduce any identified negative impacts.

Management Plan

Inappropriate Alterations

6.3.5 Since designation, the Conservation Area has experienced a relatively low level of pressure for major alterations. For many years it has suffered from a poorer quality setting, added to by the dereliction of the gasworks site. Its position on the edge of the commercial seafront area made it a marginal area both for commercial activity and for housing.

6.3.6 The early-21st century development of part of the former gasworks site (to the north/north-east of the Conservation Area) for housing has strengthened the Conservation Area's attraction as a residential area. There is now evidence of an improved housing market and of consequent work to upgrade properties. This may increase pressure to make external alterations to properties and the need to ensure adequate control, information and advice to owners.

6.3.7 Modern alterations detract from the appearance of individual houses and harm the aesthetic and character of the Conservation Area. The replacement of these features with designs and materials which reflect the historic form of the building would enhance their appearance. Examples include:

- The most harmful alterations comprise unsympathetic changes to windows at certain properties (particularly Nos.54-57 at the eastern end of the Conservation Area), namely the replacement of historic timber sash windows with uPVC units and the alteration of individual window pattern, proportion or design. No.55 for example has had

an inappropriate canted bay uPVC unit added at ground floor and an accompanying second entrance; this design is completely anachronistic to the rest of the terrace, which typically features sash windows and entrances in recessed porches. These alterations were either unauthorized or, in the case of unlisted houses, were carried out as permitted development which does not need planning permission from the Council. As well as detracting visually from the Conservation Area, the use of plastic windows reduces the breathability of traditionally constructed buildings by preventing moisture from egressing the building. Original materials are more permeable than modern materials.

- uPVC doors have similar problems with breathability and are also inappropriate for the Conservation Area. The original timber front doors in the Conservation Area have a specific design, with two vertical panels to the bottom three quarters of the door and a horizontal rectangular pane of glass to the top quarter. Original doors to the central passageway between houses have a simple timber plank door. Doors with other designs such as Georgian style six panel doors are inappropriate.
- The modern shopfront at the centre of the terrace (No.48) is obtrusive; the fascia board is oversized and poorly positioned, and the modern glazing has resulted in the loss of typical historic features and breaks the rhythm of the terrace.
- The varied colour scheme over modern render also breaks the consistency of the terrace, formerly comprising weather-boarding or yellow stock bricks.

Management Plan

- The replacement or recladding of the original stone steps with inappropriate concrete or tiles, and the loss or replacement of original handrails with utilitarian versions.
- The roofscape of the Conservation Area has been impacted negatively by the replacement of original slate tiles with concrete.
- Although not overly-concentrated, aerials are also intrusive features.

Recommendations

- 6.3.8 Take opportunities to enhance properties when considering alterations, for example by restoring any missing historic features and improving poorly designed alterations of the past.
- 6.3.9 Follow guidance in section 6.4 to ensure repairs and alterations are carried out in an appropriate manner.
- 6.3.10 The Council will not approve applications for alterations which detract from the special interest of the Conservation Area.
- 6.3.11 The Council will use enforcement powers where necessary to prevent or reverse inappropriate alterations.
- 6.3.12 Take opportunities to improve the appearance and condition of the built fabric of the Conservation Area through the replacement of uPVC windows with traditional timber units.



Management Plan

Flood Risk

6.3.13 The Conservation Area is within a flood risk zone and property has been damaged due to flooding in the past. This is likely to lead to pressure to install flood prevention measures, such as barriers, which could harm the character and appearance of the area. Any flood prevention measures will need to be designed carefully so that they are as visually unobtrusive, and involve as little alteration of historic fabric, as possible. For example, relatively discreet rails into which a panel can be inserted to prevent water flow have been installed at the gate in the boundary wall of No.45.

Recommendations

- 6.3.14 Flood prevention measures within the Conservation Area should be sensitively designed to minimise harm to its character.
- 6.3.15 Incorporating discreet flood barriers into boundary walls is a solution which minimises physical intervention into the Listed or Locally Listed Buildings themselves.



Aluminium rails for flood prevention barrier installed at the gate of No.46

Management Plan

Boundary treatments

6.3.16 The Conservation Area features inconsistencies in boundary treatment and, in places, erosion of boundary demarcation, particularly towards the east end of the Conservation Area. The boundary enclosures comprise a mixture of metal railings, concrete block, posts and rope, hedges and rubble wall. Some properties have had their front gardens replaced with hardstanding and are used as driveways. This has begun to erode the character and appearance of the street. The consequential loss of planting, trees and shrubbery, exposes the terrace and further detracts from the character of the Conservation Area. The properties exhibit diverse balustrades and access steps (materials, height and styles) This detracts from the order, rhythm and coherence of the Conservation Area, as well as the loss of the original stone steps in places.

Recommendations

- 6.3.17 Take opportunities to reinstate boundary enclosures to improve the coherence and unity of the terrace. Low brick or rendered walls, or picket fences are the most appropriate materials for boundary enclosures.
- 6.3.18 Enhance the quality of front gardens by removing insensitive hardstanding surfaces.
- 6.3.19 Front gardens or forecourts without greenery or landscaping would benefit from the introduction of appropriate boundary treatments.

Management Plan

Examples of inappropriate boundary treatments, loss of boundary walls and replacement of original stone steps



Management Plan

Setting of the Conservation Area

- 6.3.20 The Conservation Area's setting does not contribute to the character of the area and detracts from its appearance. Many of the commercial/leisure buildings to the west of the Conservation Area are vacant and their condition has therefore degraded. Many of the occupied buildings also require maintenance, repair and removal of cluttered or insensitive signage.
- 6.3.21 The open nature of the car park, on the site of the former Gas Works, to the east of the Conservation Area, opens up views to the modern hotel development beyond. Whilst the associated new residential development to the north, returns a domestic quality to the area, the scale and massing of the hotel make it dominant and overpowering in views from the terrace, negatively affecting the character of the setting. The busy road makes a negative contribution to the experience of the Area. The street furniture (modern lampposts, pay meters, bins and service boxes) or public realm surfacing (tarmac) does not contribute to the character of the Conservation Area.
- 6.3.22 There is also a lack of landscaping and trees in the area. New landscaping and tree planting could soften open space and the impact of the larger modern buildings to the east and north-east.
- 6.3.23 The Sea Life Centre to the west comprises larger scale modern buildings, which are out of scale with the domestic massing of the buildings within the nearby Conservation Area. Any further new buildings within the setting of the Conservation Area should be designed sensitively in terms of scale and massing.
- 6.3.24 Historically the Conservation Area most likely provided housing for fishermen, and therefore a connection with the sea was an integral part of its character (this illustrated by 19th century OS maps showing the footpath linking the terrace with the seashore). This relationship has been severed by the widening of the road, embanking opposite, and a miniature golf course occupying part of the formerly open space between the terrace and seafront. However, this is mitigated marginally by the views of the terrace still afforded from the seashore and raised walkway.
- 6.3.25 The Conservation Area's location on the edge of the commercial seafront results in some of the seafront activities spilling out into this area, causing some nuisance to residents, particularly at night time. The area's residential character needs to be strengthened in order to make a clear distinction between this area and the commercial area.

Management Plan



Recommendations

- 6.3.26 Retain and maintain the grassed area opposite the terrace, which connects the terrace with the seafront.
- 6.3.27 Improvements to pavement surfacing and standards of street furniture should be made, with bespoke designs where possible.
- 6.3.28 Enhance the setting of the Conservation Area by lessening the visual impact of the modern hotel development to the east. This could be achieved through green landscaping and the addition of trees.
- 6.3.29 New or redeveloped buildings within, or in the setting of, the Conservation Area should be sensitive in materials, scale, detail and massing to the street on which it is located and should preserve important views. New development should also include soft landscaping to reduce the impact on the setting of the Conservation Area.



Management Plan

Uses

- 6.3.30 The best use for an historic building is usually the one it was originally designed for. Some changes in use in the Conservation Area have led to inappropriate alterations, for example shop fronts of a poor scale and design have been inserted into residential buildings (No.48). Proposals for conversion of these commercial units back into residential would be welcome, such as is occurring at No.47 (at time of survey in 2019) which is being converted from a live/work unit back to residential use.
- 6.3.31 Some of the houses have been converted into flats. This is particularly apparent to No.55 where the extra door and bay window have been added to allow access to the ground floor flat. This has intrusively eroded the original form of the building and consistency of appearance of the terrace. Flats could still be appropriate but this should not result in negative changes to the external appearance of the houses.

Recommendations

- 6.3.32 Changes of use should be appropriate to the building in which they are housed and should not result in inappropriate alterations to the building.
- 6.3.33 Consider favourably applications to change commercial units back into residential use.
- 6.3.34 If conservation to flats is proposed, divisions between the flats should be made internally behind the original front door, with no new doors inserted in the front elevation. The appearance of windows on different floors that contain different flats should be the same to retain consistency of appearance. The listed buildings would ideally remain as single dwellings, though if applications for subdivision were proposed, these recommendations would also apply.

Management Plan

Boundary Proposals

- 6.3.35 Councils have a duty to review the boundaries of Conservation Areas every so often to ensure that the special interest is not devalued by the inclusion of areas which are not of special interest. The interest can change over time as negative alterations take place or as more understanding is gained of the importance of areas adjacent to the boundary that were not previously recognised as having special interest.
- 6.3.36 The previous Conservation Area Appraisal (2006) removed the western commercial terrace, 35-39, from the Conservation Area, owing to extensive alteration, mix of uses and designs, which devalued the overall quality of the Conservation Area.
- 6.3.37 The streets surrounding the Conservation Area were again reviewed. There was no change in the quality of the buildings to the west (Nos.35-39) and the site to the east is a new car park and hotel not of historic interest. To the rear on Burnaby Road are modern houses to the south and Victorian terraces very typical of others in Southend on the north side. Therefore, no changes are proposed to the boundary.

Management Plan

6.4 Guidance on Alteration and Repair

6.4.1 The following advice applies to the features of particular importance to the character of the Eastern Esplanade Conservation Area, where they are visible to the public. Those with properties in the Conservation Area should follow this guidance when considering changes to help keep individual properties and the area special.

Key Principles for Guiding Change

6.4.2 **Maintenance:** regular maintenance is needed to protect original features. But if more extensive work is found necessary, repair rather than replacement should be the first option and will often be better value.

6.4.3 **Materials and Designs:** when considering alterations or repairs to the property, original materials and designs should be respected.

6.4.4 **Enhancement:** take the opportunity to enhance properties when considering alterations, by restoring any missing features and improving poorly designed alterations of the past.

Management Plan

Windows

6.4.3 Traditional windows, in this case timber sliding sashes, are vital for the character of the Conservation Area. Original windows can be given a new lease of life by overhauling them and installing draught proofing brushes in the sash rebates. Secondary glazing may also be acceptable if it is unobtrusive. Advice should be sought from the Council's Planning Department.

6.4.4 If replacement or reinstatement is necessary, purpose-made windows to match the original materials and external appearance should normally be installed and advice sought from the Council's Planning Department before undertaking any works, should planning permission be required. For most buildings, double glazing within timber frames may be acceptable if the external appearance is unaltered, and the metal frames and seals are not visible. This will need to be demonstrated in planning application drawings including existing and proposed large scale sections of key elements. Non-traditional materials, especially plastic, cannot match traditional timber windows and are normally not acceptable.

6.4.5 To safeguard the building's character, new windows should normally:

- Be of good quality softwood;
- Be painted (not stained);
- Copy the original pattern of glazing bars and horns, if any;
- Glazing bars should be built into the sash and not stuck on to the glass;

- Use the original method of opening;
- Retain or restore the dimensions of the original window opening and the position of the frame within the opening. Most openings are well-proportioned and most frames in older brick buildings are well set back from the face of the wall to give weather-protection, shadow and character;
- Give adequate ventilation which is not visible (e.g. trickle vents); and
- Retain decorative surrounds.

6.4.6 For good quality softwood, Historic England's recommendation of slow grown Scots Pine or Douglas Fir should be followed. This has greater durability than other softwoods. However, chemically modified and stabilised softwood can also offer the same durability.

6.4.7 Where uPVC replacement windows already exist, the Council may consider replacement with uPVC provided that there is an enhancement to the character and appearance of the Conservation Area, for example an improved design which better reflects the original detailing.

6.4.8 For further guidance, see Historic England's guidance on the maintenance and repair of historic windows: Traditional Windows, Their Care, Repair and Upgrading, <https://historicengland.org.uk/images-books/publications/traditional-windows-care-repair-upgrading/>

Management Plan

Doors and Porches

- 6.4.9 Original front doors at Eastern Esplanade are timber with two vertical panels and a glazed upper panel. Original front doors should normally be retained and repaired when necessary. If this proves impossible, the new front door should be solid timber, painted not stained, be similar in design and dimensions to the original, and should not have an over emphasis on glass or lack glass entirely. Similar principles apply to the secondary doors to the through passages, though these should be plain timber plank doors to match the originals.
- 6.4.10 Recessed porch areas give shadow and interest to the front of many buildings and should not be enclosed with doors, gates or new porches. Where a house is being converted to flats, the original entrance door should be retained or restored. Entrance doors to individual flats should be contained within the building behind the original entrance.

Outside Walls and Decoration

- 6.4.11 The original material for Nos 44-57 is yellow stock brick, which gives attractive 'warm' tones and texture to façades.
- 6.4.12 Facing brickwork should not normally be rendered or painted. If it suffers from damp, dirt or deterioration, alternatives should first be considered, such as cleaning with an appropriate solvent and repointing. Cement-based render and non-porous masonry paints might increase problems of damp by trapping moisture within the brickwork. If brickwork has already been painted, it may be possible to clean it off, and in such instances discussion should be had with the Council's Conservation Officer in the first instance before undertaking any works to ensure that the proposed method will not damage the face of the bricks. It is unlikely that removing existing render will be possible without damage to the surface of the brickwork below. Therefore, if buildings are repainted, white is likely to be the most appropriate colour.
- 6.4.13 Repointing also needs care. It should match the colour and style of the original and not extend over the face of bricks or make joints appear wider. To achieve this it may need to be slightly recessed. The mortar mix needs to include lime and be the right strength for the bricks. Too strong a mix will force damp into the bricks and damage their surface.
- 6.4.14 Decorative features, like dentilled fascia ornaments and mouldings to door surrounds, which add interest to buildings should be retained or reinstated where lost.
- 6.4.15 Traditional feather-edged weatherboarding is an important local building material used on Nos.40-42 (and formerly on No.43) and should always be retained if original. Reinstatement of this material on No.44 would be welcomed.

Management Plan

Roofs and Chimneys

- 6.4.16 Welsh slate was originally used for roofs in Eastern Esplanade, though many have now been replaced with concrete tiles or artificial slate. Slate is a natural material which weathers well to produce attractive roof surfaces; it also gives unity to terraces and helps establish the character of the Area.
- 6.4.17 Re-roofing should put back the original materials and designs. For slate roofs, it may be possible to re-use some of the existing slates to help keep costs down. Spanish slate may be an appropriate cheaper solution to Welsh slate.
- 6.4.18 Brick chimney stacks and pots are a feature of the roofline and should not be removed or rendered.

Hardstandings and Boundaries

- 6.4.19 Front gardens should be maintained as planted areas wherever possible. Hardstandings in front gardens or forecourts harm the appearance of individual properties and the Area's character if badly designed and are unlikely to be acceptable in this location.
- 6.4.20 The appearance of some properties has been eroded by the loss of boundary enclosures; their restoration would enhance the Conservation Area and is encouraged. Timber picket fences and low brick or rendered walls are acceptable materials for boundary treatments.

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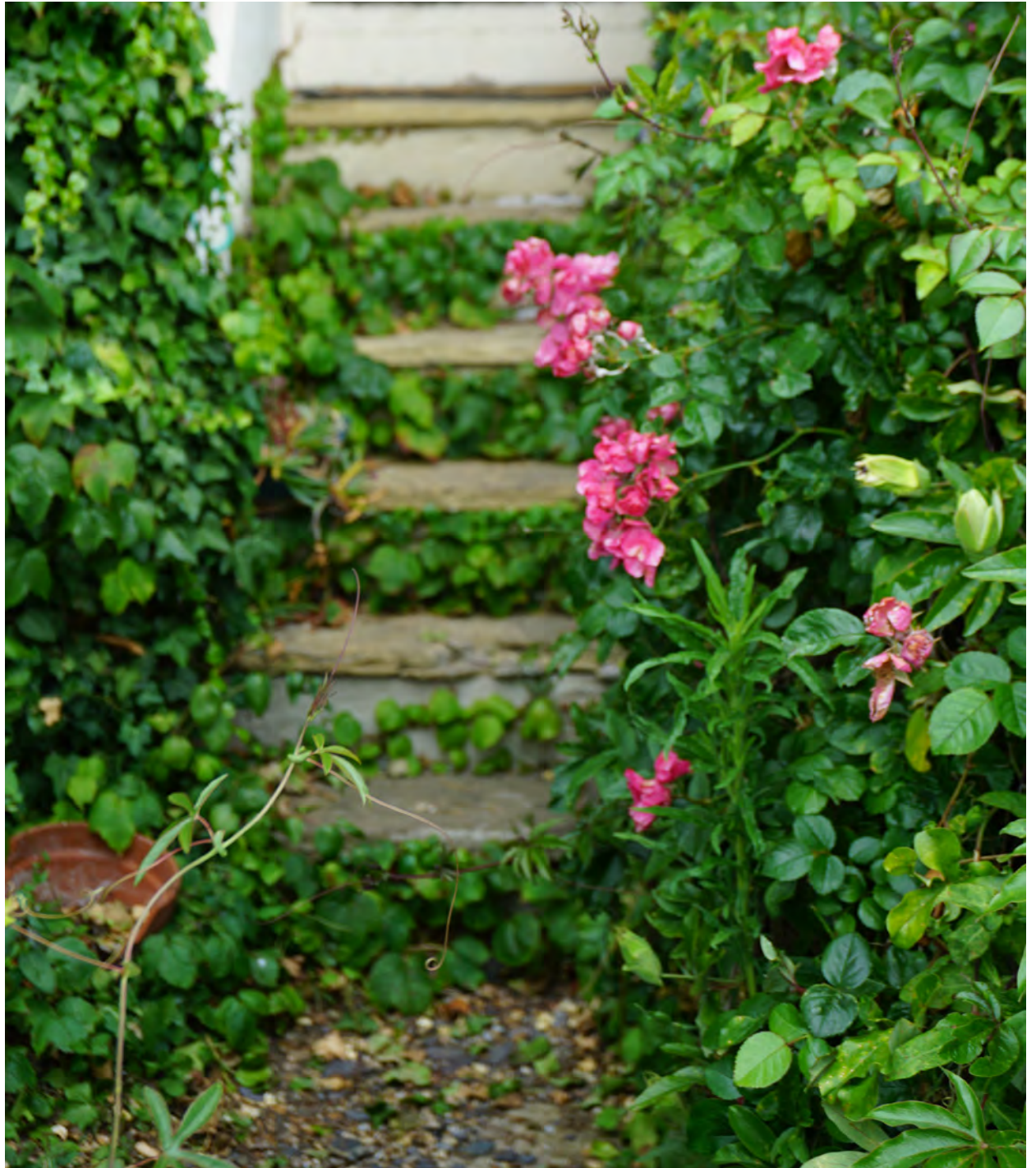
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Appendices

A: List Descriptions

B: Building-by-Building Descriptions



Appendix A

List Descriptions

40-43 Eastern Esplanade

Grade II

List Entry Number: 1112711

Date first listed: 23 August 1974

Summary

A terrace of four fishermen's cottages dating to the early or mid C19.

Reasons for Designation

Nos.40-43 Eastern Esplanade, Southend-on-Sea, Essex, are designated at Grade II for the following principal reasons.

* Architectural interest: The arrangement of the façade of these fishermen's cottages reflects their specialist function and is an unusual feature

* Intactness: The exterior remains substantially intact and reflects the regional vernacular building tradition

* Group Value: This terrace has group value with Nos.44-45 Eastern Esplanade.

History

Southend-on-Sea grew out of Prittlewell, the largest of the six medieval parishes of which it is comprised. By the late C19 Southend had overtaken its mother parish in importance and in 1892 it became officially recognised as a town, when it was incorporated; 'on-Sea' being added the following year. The other parishes were absorbed and amalgamated from the end of the C19 through to the 1930s, to form the town as it is known today.

The name 'Sowthende' first appears in a will of 1481, although what is now known as Southend did not begin to become urbanised until around 1700 when oyster cultivation began in the area. Within 20 years the whole of the foreshore from Southchurch westwards to Leigh was leased as oyster feeding grounds and oysterman's huts began to be built, followed by humble terraces of cottages. Visitors started to come in small numbers to Southend to bathe in the sea, and in 1791 a syndicate was set up to develop a resort at 'New Southend'. Following this The Terrace was built, renamed The Royal Terrace in 1804 after Princess Caroline, wife of the Prince Regent, stayed there. The royal association helped to boost the popularity of the resort, and in 1829 the first pier was built. The coming of the railways in the mid C19 stimulated growth and interest in the town, firstly in 1856 with the London Tilbury and Southend Railway which led to the development of Clifftown, followed by the Great Eastern in 1889. Southend flourished as a seaside

List Descriptions

resort from the end of the C19 through to the first half of the C20, but its popularity declined towards the end of the C20. In recent years however, major development such as the Southend campus of the University of Essex, and improvements to the pier and Esplanade have helped rekindle interest in the town.

The terrace of former fisherman's cottages on the north side of Eastern Esplanade date from the early to mid C19. The fishing industry in the area has since declined and is virtually non-existent today. The cottages are on the whole unaltered apart from some minor cosmetic changes to the exterior, but it has not been possible to inspect the interiors.

Details

MATERIALS: the terrace is timber-framed, with weatherboard cladding. No.43 is now faced in plaster. The roof covering is slate.

PLAN: the terrace has an E-shaped plan, formed by wings to the rear at each end and the centre of the terrace.

EXTERIOR: the terrace is two-storeys in height and six window bays in width. Nos.40 and 41 are set back in the centre to the doorways and have hipped roofs and one window range above. The windows are double-hung sashes with glazing bars, those to No.42 have louvred shutters. The doorway to No.42 is recessed on the ground storey under an open porch.

INTERIOR: not inspected.

List Descriptions

44 and 45 Eastern Esplanade

Grade II

List Entry Number: 1322330

Date first listed: 23 August 1974

Summary

A pair of fishermen's cottages dating to the early to mid C19.

Reasons for Designation

Nos.44-45 Eastern Esplanade, Southend-on-Sea, Essex a pair of fishermen's cottages, is designated at Grade II for the following principal reasons:

- * Architectural interest: the arrangement of the façade of these fishermen's cottages reflects their specialist function and is an unusual feature
- * Intactness: the exterior remains substantially intact and reflects the regional vernacular building tradition
- * Group Value: this terrace has group value with Nos.40-43 Eastern Esplanade.

History

Southend-on-Sea grew out of Prittlewell, the largest of the six medieval parishes of which it is comprised. By the late C19 Southend had overtaken its mother parish in importance and in 1892 it became officially recognised as a town, when it was incorporated; 'on-Sea' being added the following year. The other parishes were absorbed and amalgamated from the end of the C19 through to the 1930s, to form the town as it is known today.

The name 'Sowthende' first appears in a will of 1481, although what is now known as Southend did not begin to become urbanised until around 1700 when oyster cultivation began in the area. Within 20 years the whole of the foreshore from Southchurch westwards to Leigh was leased as oyster feeding grounds and oysterman's huts began to be built, followed by humble terraces of cottages. Visitors started to come in small numbers to Southend to bathe in the sea, and in 1791 a syndicate was set up to develop a resort at 'New Southend'. Following this The Terrace was built, renamed The Royal Terrace in 1804, after Princess Caroline, wife of the Prince Regent stayed there. The royal association helped to boost the popularity of the resort, and in 1829 the first pier was built. The coming of the railways in the mid C19 stimulated growth and interest in the town, firstly in 1856 with the London, Tilbury and Southend Railway, which led to the development of Clifftown, followed by the Great Eastern in 1889. Southend flourished as a seaside resort from the end of the C19 through to the first half of the C20, but its popularity declined towards the end of the C20. In recent years however, major developments such as the Southend campus of the University of Essex and improvements to the pier and Esplanade have helped rekindle interest in the town.

List Descriptions

It is likely that the cottages were constructed in the early or mid C19 for fishermen. Comparison with the historic Ordnance Survey maps indicates that the footprint of the cottages has remained the same since the late C19 and the exteriors of Nos.44-45 Eastern Esplanade have not been altered since they were listed.

Details

MATERIALS The main materials are painted brick, with slate for the roof covering.

PLAN The cottages have a rectangular plan.

EXTERIOR The buildings, part of terrace, are two-storeys in height plus a basement and have a three-window range. There is a shallow pitched roof with ridge stacks at each end. The principal elevation has double hung sash windows with glazing bars, in plain reveals. The ground-floor central bay is recessed and contains the entrances to each of the cottages, both have a small flight of steps up to the door. Between the two entrances is a single doorway at ground level, which allows access to further storage.

INTERIORS Not inspected.

Appendix B

Building-by-Building Description

Descriptions of streets and buildings relate to the situation at the time of survey in July 2019. They are intended to guide decisions on conservation area boundaries, on future development control, and on the need for enhancement. They relate to the main street frontages unless specifically stated. They are not necessarily comprehensive and other features not mentioned may nevertheless have value for the character of the area.

The List Descriptions for Listed Buildings are included in Appendix A.

Properties are assessed according to their value to the area's character. Values are:

- positive - the building contributes to the area's character
- positive* – the building is potentially positive but needs improvement or restoration. For example, it could be in poor condition or it could have later alterations which are inappropriate to the Conservation Area in terms of materials, design or scale (this list is not exhaustive). Often the rating is given because of the cumulative impact of several inappropriate changes.
- neutral - the building neither harms nor contributes to the area
- negative - the building harms the area's character and has little potential for improvement

These values are shown on Map K on the following page.

Buildings can be negative by reasons such as mass, design, materials or siting. Unsympathetic alterations can have the effect of moving a building down a grade. Similarly, reversal of such alterations could restore its original character and move it up a grade.

Building-by-Building Description

Map K: Building Values

- Conservation Area Boundary
- Positive
- Positive*
- Neutral
- Negative

- A Negative modern shopfront
- B Negative boundary wall/ treatment or loss of boundary with conversion of front garden to off-street parking

This plan is not to scale

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Building-by-Building Description

Address	Value	Designation
40 Eastern Esplanade	Positive	N/A

Description

See list description. Mid-19th century. Timber framed and weatherboarded two-storey house, painted white. One window range. Set back in centre to doorway with dentil cornice and window above. Timber door with glazed pane at the top, accessed up stone steps. Window openings reduced in height with modern double hung timber sash windows each with single glazing bar. These are not inappropriate but any replacement in the future should match adjacent listed properties. Original entrance door and rear access door. Entrance door is stained and a painted finish would be more appropriate. Slate roof. Appropriately slim profile rainwater goods, though painted black so stands out somewhat. Could blend in better if painted white. Yellow brick chimney. Front garden enclosed by picket fence with planting that has a positive

impact on the building's setting. Rear boundary fence (not brick wall).



Address	Value	Designation
41 Eastern Esplanade	Positive	N/A

Description

See list description. Mid-19th century. Mirror image to No.40. Two window range. Timber framed and weatherboarded two-storey house, painted white. Set back in centre to doorway with dentil cornice and window above. Timber door with glazed pane at the top, accessed up stone steps. Entrance door is stained and a painted finish would be more appropriate. Double hung timber sash windows, eight panes per sash. Slate roof. Appropriately slim profile rainwater goods, though painted white to blend in the weatherboarding. Cement rendered brick chimney shared with No.42. Cement render is an inappropriate and unattractive material. Front garden enclosed by picket fence with planting that has a positive impact on the building's setting. Rear boundary fence (not brick wall).



Building-by-Building Description

Address	Value	Designation
42 Eastern Esplanade	Positive	N/A

Description

See list description. Mid-19th century. Timber framed and weatherboarded two-storey house. Two window range. Black-stained weatherboarding contrasts with rest of terrace. Doorway recessed on ground storey, under an open porch. Timber door with glazed pane at top, accessed up rendered steps. Modern double hung timber sash windows with glazing bars in an appropriate design. Slate roof. Cement rendered brick chimney stack shared with No.41. Cement render is an inappropriate and unattractive material. Front garden enclosed by rendered wall. The garden would benefit from the addition of planting. Modern decorative metal gate not in keeping. A low timber gate is likely to be more appropriate.



Address	Value	Designation
43 Eastern Esplanade	Positive* Boundary wall negative	N/A

Description

See list description. Mid-19th century. Timber framed two-storey house. One window range. Originally weatherboarded but now rendered. Doorway recessed on ground storey, under an open porch. Timber door with glazed pane at top, probably modern as it has vertical planks rather than panels, though not inappropriate, accessed up tiled steps. The tiled steps are an inappropriate material and reinstatement with stone would be beneficial. Double hung timber sash windows with glazing bars and modern timber shutters, which are harmful to the character of the terrace. Slate roof. Yellow brick chimney shared with No.44. Front garden enclosed by block wall. The garden would benefit from the addition of planting. Modern decorative metal gate not in keeping. A low timber gate is likely to be more appropriate.



Building-by-Building Description

Address	Value	Designation
44 Eastern Esplanade	Positive* Boundary wall negative	N/A

Description

See list description. Mid-19th century house. Two window range. Originally yellow facing brick now painted a pink/orange colour - contrasts inappropriately with rest of terrace and would benefit from repainting in white. Two-storeys plus semi-basement. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Timber door with glazed pane at top, which may be a later replacement though not too dissimilar in design to the original, accessed up painted stone (?) steps. Removal of the paint from the steps would be beneficial. Part of original cast iron rails to entrance steps and side boundary survive. Double hung timber sash windows with glazing bars. Slate roof. Yellow brick chimney shared with No.43. Front garden enclosed by mixed masonry wall which is

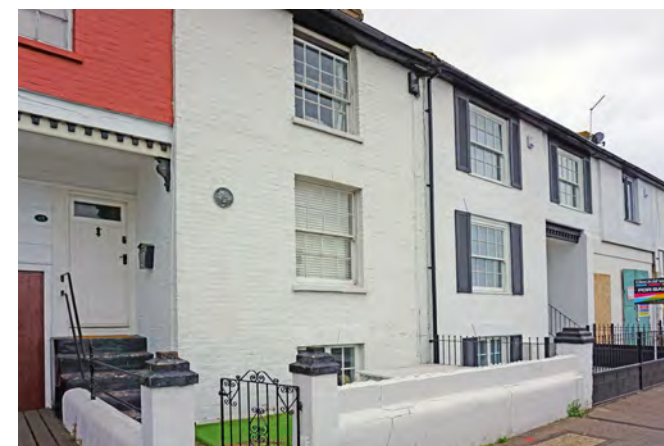
of very poor quality and significantly detracts from the character of the terrace. Its rendering or replacement would be beneficial. Planting enhances the garden.



Address	Value	Designation
45 Eastern Esplanade	Positive	N/A

Description

See list description. Mid-19th century house. One window range. Originally yellow facing brick now painted. Painting of brickwork is unfortunate and would benefit from removal if possible without damaging the bricks, though repainting in white would also be acceptable. Two-storeys plus semi-basement. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Timber door, possible an early replacement as it has vertical planks rather than panels, with glazed pane at top, accessed up concrete steps. Concrete steps are inappropriate and would benefit from reinstatement with stone. Double hung timber sash windows with glazing bars. Slate roof. Yellow brick chimney stack shared with No.46. Front garden enclosed by rendered wall with thin top panel. Modern decorative metal gate not in keeping. A low timber gate is likely to be more appropriate. Discreet aluminium rails have been installed at the gate into which a barrier can be inserted for flood prevention. Garden would benefit from planting.



Building-by-Building Description

Address	Value	Designation
46 Eastern Esplanade	Positive* Paved from garden negative	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. Two window range. Originally yellow facing brick now painted. Painting of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Doorway recessed on ground storey, under an open porch with dentil detail cornice and scroll bracket. Modern timber sash style windows, though with somewhat chunky frames, all in enlarged openings, all with modern timber shutters, which are not in keeping with the original design of the buildings. Slate roof replaced by inappropriate concrete tiles. Yellow brick chimney shared with No.45. Front garden enclosed by painted modern metal railings which are not particularly in keeping. Garden paved over and would benefit from planting.



Address	Value	Designation
47 Eastern Esplanade	Positive*	N/A

Description

Mid-19th century house, ground storey and part of open porch previously converted into a shop with flat over. The shopfront extension has removed the original entrance door and steps. One window range. Shopfront currently in the process of being converted to residential with insertion of a door to match the original design on other buildings and sash windows. Originally yellow facing brick now rendered. Rendering of brickwork is unfortunate and would benefit from removal if possible without damaging the bricks, though repainting in white would also be acceptable. Sash window to first floor now replaced by inappropriate uPVC casement window with leaded lights, though application in process in 2019 to changed to timber sashes. Slate roof replaced by inappropriate concrete tiles. Brick chimney stack now rendered, shared with No.48. Metal railings, which are not particularly in keeping, surrounding paved over garden. Garden would benefit from planting.



Building-by-Building Description

Address	Value	Designation
48 Eastern Esplanade (Attic)	Positive* Shop front negative	N/A

Description

Mid-19th century house, ground storey and part of open porch converted into a shop with flat over. Two window range. Side pilasters and fascia scroll to shopfront but in context of terrace the shopfront and fascia are obtrusive. Original timber plank front door to flat. Open porch above has lost its dentil detail but retains one scroll bracket.

Originally yellow facing brick now rendered. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Sash windows to first floor now replaced by inappropriate uPVC top hung casement windows, which would benefit from replacement with timber sashes to match the originals. Slate roof replaced by inappropriate concrete tiles. Yellow brick chimney stack shared with No.47. Forecourt used for outdoor eating area with timber decking surrounded by a post and rope boundary, which is inappropriate and would benefit from replacement with a suitable alternative. Fire protection plaque on wall above entrance to No.49. Large single storey pink brick building abuts rear boundary.



Building-by-Building Description

Address	Value	Designation
49 Eastern Esplanade	Positive	N/A

Description

Mid-19th century house. Retains many original features. One window range. Two-storeys plus semi-basement. Timber casement window to semi-basement. Yellow facing brick with cement pointing. The cement is inappropriate and would benefit from replacement with lime mortar. Doorway recessed on ground storey, under an open porch. Dentil detail to cornice and scroll bracket lost. Timber door with glazed pane at top, accessed up stone steps. Sash windows with glazing bars. Slate roof. Yellow brick chimney stack shared with No.50. Front garden boundary is a low rendered wall with modern iron railings above, which are not particularly in keeping. The garden has some planting, though is untidy and would benefit from maintenance.



Address	Value	Designation
50 Eastern Esplanade	Positive	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. Two window range. Originally yellow facing brick now rendered. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Doorway recessed on ground storey, under an open porch. Modern timber door with glazed pane at top, in an appropriate design though leading to the glazing in not in keeping, accessed up concrete steps. Concrete steps would benefit from replacement with stone. Timber plank door to rear access with timber plank paneling above. Porch has dentil detail cornice with scroll brackets. Inappropriate uPVC sash style windows with bottom opening casements. Inappropriate uPVC casement to semi-basement. uPVC windows would all benefit from replacement with timber to match the originals. Slate roof. Yellow brick chimney stack shared with No.49. Front garden boundary - rendered wall with modern iron railings above which are not entirely in keeping. Garden would benefit from planting.



Building-by-Building Description

Address	Value	Designation
51A Eastern Esplanade	Positive*	N/A

Description

Mid-19th century house converted into two flats. Two-storeys plus semi-basement. One window range. Originally yellow facing brick now rendered. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Fire plaque ('Royal') on first floor wall. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Timber door with leaded glazed pane at top, in an appropriate design though leading to the glazing in not in keeping, accessed up modern timber steps. Timber steps would benefit from replacement with stone. Timber sash windows replaced by uPVC sliding sash or top hung casements with stuck on 'glazing bars'. Basement window also uPVC. uPVC windows would all benefit from replacement with timber to match the originals. Slate roof with yellow brick chimney shared with No.52. Utility meter boxes to front elevation are unattractive. Boundary wall removed and garden concreted over, which is inappropriate. In use as parking space. This would benefit from reinstatement as a planted front garden with a boundary wall.



Address	Value	Designation
52 Eastern Esplanade	Positive	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. Two window range. Yellow facing brick. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Timber door with stained glass pane at top, accessed up stone steps. Timber plank door to rear access with timber plank paneling above. First and ground floor timber sash windows. Timber casements to basement. Artificial slate roof would benefit from replacement with natural slate. Yellow brick chimney stack shared with No.51. Rendered front boundary wall. Metal gate to central access. Well planted front garden.



Building-by-Building Description

Address	Value	Designation
53 Eastern Esplanade	Positive*	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. One window range. Yellow facing brick. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Timber 'stable' door with central small window pane to top section, not entirely in keeping though better than a uPVC or panelled example, accessed up brick steps, which would benefit from replacement in stone. Sash windows replaced by inappropriate timber casement windows. Slate roof. Yellow brick chimney stack shared with No.54. Metal railings around front garden. Some planting adds character.



Building-by-Building Description

Address	Value	Designation
54 Eastern Esplanade	Positive*	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. Yellow facing brick rendered to semi-basement and half of ground floor. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Two window range. Doorway recessed on ground storey, under an open porch, with dentil detail cornice. Scroll bracket lost. Unsympathetic galvanized rail to paved steps. All sash windows replaced by inappropriate uPVC casement windows, plus inappropriate uPVC casement window to semi-basement. All uPVC windows would benefit from replacement with timber to match the originals. Modern panelled entrance door is unsympathetic and would benefit from replacement with a timber example to match the original design. Accessed up unsympathetically paved steps which would benefit from replacement with stone. Original timber plank door to rear access with timber plank paneling above. Slate roof. Yellow brick chimney stack shared with No.53.

Unattractive concrete forecourt with boundary removed which has a negative impact and would benefit from reinstatement of a planted front garden with a boundary wall. Utility meter box to front elevation is unattractive. Rear boundary wall blockwork.



Building-by-Building Description

Address	Value	Designation
55 Eastern Esplanade	Positive*	N/A

Description

Mid-19th century two-storey house. One window range. Ground floor formerly converted into a shop, now in use as two flats. Ground floor window replaced with particularly inappropriate uPVC bay window and door. Door opening under recessed porch has unsympathetic modern panelled door, accessed up inappropriate brick steps which would benefit from replacement with stone, with inappropriate brick handrail. Porch has dentil detail cornice, scroll brackets lost. Original yellow facing brick now rendered. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. uPVC windows to first floor are also inappropriate. All uPVC windows would benefit from replacement in timber to match the original design and proportions. Slate roof replaced with unsympathetic concrete tiles. Yellow brick chimney stack shared with No.56. Unattractive concrete forecourt, boundary removed has a negative impact and would benefit from reinstatement of a planted front garden with a boundary wall. Rear boundary wall blockwork.



Building-by-Building Description

Address	Value	Designation
56 Eastern Esplanade	Positive*	N/A

Description

Mid-19th century house. Two-storeys plus semi-basement. Two window range. Originally yellow facing brick now rendered and in poor condition. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Paintwork in poor condition and requires repainting. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Sash windows replaced by inappropriate uPVC casement windows in altered openings, which would benefit from replacement with timber to match the original materials, design and proportions. Inappropriate uPVC entrance door would benefit from replacement in timber to match the original design, accessed up unsympathetic concrete steps with metal handrail. Steps would benefit from replacement with stone. Timber plank door to rear access with timber plank panelling above. Slate roof replaced with inappropriate concrete tiles. Yellow brick chimney stack shared with No.55. Unattractive concrete forecourt and unsightly utility meter boxes to front elevation. Front boundary removed which has a negative impact and would benefit from reinstatement of a planted front garden with a boundary wall. Forecourt would benefit from reinstatement of a planted front garden with a boundary wall. Rear boundary wall blockwork.



Building-by-Building Description

Address	Value	Designation
57 Eastern Esplanade	Positive*	

Description

Mid-19th century house converted into two flats. Two-storeys plus semi-basement. One window range. Originally yellow facing brick now rendered, including side elevation. Rendering of brickwork is inappropriate and would benefit from removal if possible without damaging the bricks, though this is unlikely so repainting in white would also be acceptable. Doorway recessed on ground storey, under an open porch, with dentil detail cornice and scroll brackets. Inappropriate modern panelled door accessed up unsympathetic concrete steps with metal handrail. Would benefit from a replacement door in timber to match the original design and replacement of the steps in stone. Inappropriate uPVC sliding sash windows with glazing bars. uPVC casements to basement also inappropriate. Slate roof replaced with unsympathetic concrete tiles. Yellow brick chimney stack. Unattractive concrete forecourt and unsightly utility meter boxes to front elevation. Front boundary removed. Forecourt would benefit from reinstatement of a planted front garden with a boundary wall. Rear boundary wall blockwork.



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